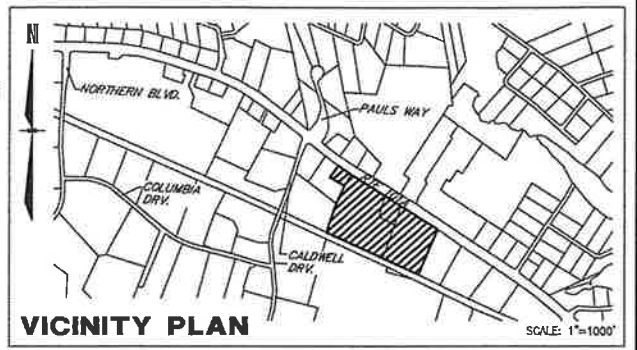
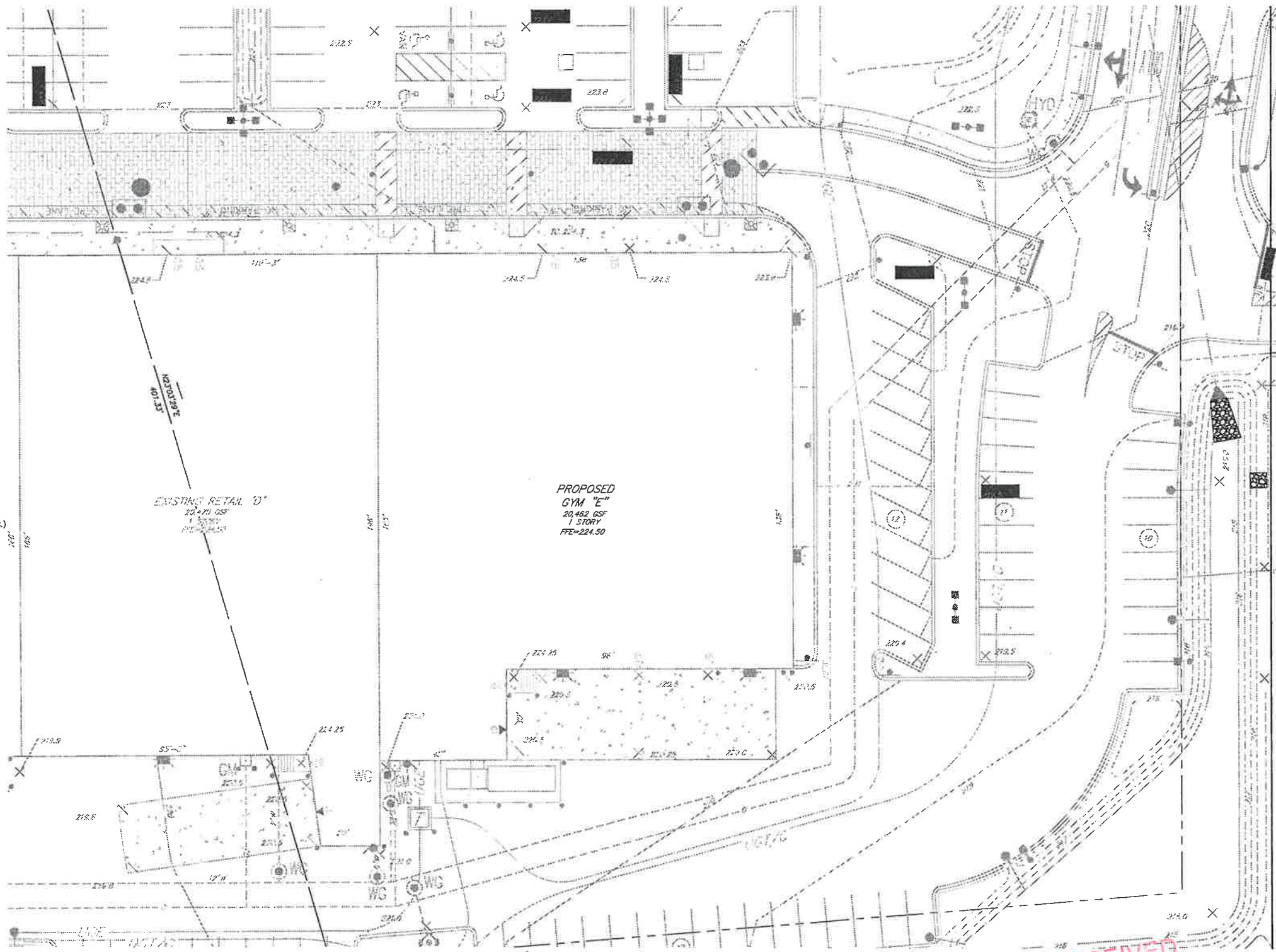


Apr 01, 2024 - 2:37pm T:\TFM\BEDF\CRD\Projects\Civil\Survey\1714 Project\2024\15-01 Charles River - Meridian\Amherst Crossing - Amherst, NH\Acad\15-01 Site Plan-Planet Fitness.dwg



**REFERENCE PLANS**

- BOUNDARY PLAN AND EXISTING CONDITIONS PLAN PREPARED FOR BERKSHIRE-AMHERST, LLC, LAND OF DAVID F. JASPER, TAMASAB REALTY, LLC, TANA PROPERTIES LIMITED PARTNERSHIP, AND MCKINLAY FOSTER REALTY CO., INC. TAX MAP LOTS 2-35, 2-37, 2-41 & 2-45 AMHERST, NEW HAMPSHIRE, DATED FEBRUARY 28, 2007 BY MERIDIAN LAND SERVICES, INC.
- PROPOSED RETAIL DEVELOPMENT, MILFORD ROAD-NH ROUTE 101A AMHERST, NEW HAMPSHIRE, PREPARED FOR BERKSHIRE-AMHERST L.L.C., ASSESSOR'S MAP: 2 BLOCKS: 35, 38, 41 AND 45, DATED APRIL 30, 2007, LAST REVISED JUNE 5, 2007 BY VHB-VANESSE HANGEN BRUSTLIN, INC.
- SITE DEVELOPMENT PLANS, TAX MAP 2 LOT 41, PROPOSED GROCERY STORE, 123 NH ROUTE 101A, PREPARED FOR CHARLES RIVER REALTY, DATED AUGUST 6, 2021 BY TFMORAN, INC.

**NOTES**

- OWNER OF RECORD OF MAP 2 LOTS 38 & 45: AMHERST CROSSING AMA REALTY VENTURES LLC, P.O. BOX 282, NORWOOD, MA 02062. DEED REFERENCE TO PARCELS IS BK. 8771 PG. 1672. AREA OF THE PARCELS ARE 0.820±ACRES (LOT 38) AND 0.488±ACRES (LOT 45). OWNER OF RECORD OF MAP 2 LOT 41: TANA PROPERTIES LIMITED PARTNERSHIP, P.O. BOX 282, NORWOOD, MA 02062. DEED REFERENCE TO PARCEL IS BK. 5620 PG. 0364. AREA OF THE PARCEL IS 8.912±ACRES. OWNER OF RECORD OF MAP 2 LOT 35: DAVID F. JASPER REV. TRUST, 30 TEMPLE STREET #301, NASHUA, NH 03080. DEED REFERENCE TO PARCEL IS BK. 8828 PG. 2840. AREA OF PARCEL IS 5.038±ACRES.
  - THE PURPOSE OF THIS PLAN IS TO PROPOSE A CHANGE OF USE FOR UNIT E WITHIN THE EXISTING MULTI-TENANT BUILDING FROM A RETAIL USE TO A GYM. NO OTHER CHANGES ARE PROPOSED.
  - CURRENT ZONING FOR THIS PARCEL IS COMMERCIAL (C). THE PARCELS ARE ALSO LOCATED IN THE AQUIFER CONSERVATION AND WELLHEAD PROTECTION OVERLAY DISTRICT.
- |                         | REQUIRED | PROPOSED   |
|-------------------------|----------|------------|
| MINIMUM LOT AREA        | 1 AC     | 15.26 AC   |
| MINIMUM LOT FRONTAGE    | 200 FEET | 1,250 FEET |
| MAXIMUM BUILDING HEIGHT | 35 FEET  | 35 FEET    |
| BUILDING SETBACKS       |          |            |
| FRONT                   | 100 FEET | 303 FEET   |
| SIDE                    | 30 FEET  | 126 FEET   |
| REAR                    | 30 FEET  | 65 FEET    |
- THE PROPERTY WILL CONTINUE TO BE SERVICED BY THE FOLLOWING:
    - DRAINAGE: PRIVATE
    - SEWER: PRIVATE
    - WATER: PENNICHUCK WATER WORKS
    - GAS: NATIONAL GRID
    - ELECTRIC: EVERSOURCE
    - TELEPHONE: CONSOLIDATED COMMUNICATIONS
  - PARKING CALCULATIONS:
    - SHOPPING CENTER: 130,194 S.F. @ 6 SP/1,000 S.F. = 781 SPACES
    - EXISTING: 821 SPACES, INC. 16 ACCESSIBLE (PER 2022 SITE PLAN APPROVAL)
    - PROPOSED: 621 SPACES, INC. 16 ACCESSIBLE
  - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
  - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
  - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN.

**SHEET INDEX**

- SITE LAYOUT PLAN
- OVERALL SITE LAYOUT PLAN
- BOUNDARY PLAN (SHEETS 1 & 2 BY MERIDIAN LAND SERVICES, INC.)
- STOREFRONT PLAN AND EXTERIOR ELEVATIONS

**LEGEND**

CONCRETE BOUND	□ CBF
STONE BOUND	□ SSF
IRON PIPE	○ IFF
IRON PIN	○ IRP
BITUMINOUS CONCRETE CURB	— BCC
INTEGRAL CONCRETE CURB	— ICC
EDGE OF PAVEMENT	— EOP
EDGE OF GRAVEL	— EOG
RETAINING WALL	— RW
CHAIN LINK FENCE	— CLF
WOOD FENCE	— WF
SIGN	— S
GAS GATE	— GG
SEWER MANHOLE	— SM
DRAIN MANHOLE	— DM
CATCH BASIN	— CB
TRANSFORMER PAD	— TP
WATER GATE	— WG
UTILITY POLE	— UP
STREAM/WATERCOURSE	— SW
SOILS BOUNDARY	— SB
SEWER LINE	— S
WATER LINE	— W
DRAIN LINE	— D
GAS LINE	— G
OVERHEAD UTILITIES	— OU
UNDERGROUND UTILITIES	— UG

**NOTES, CONTINUED**

- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMPLIANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- BOUNDARY AND EXISTING CONDITIONS INFORMATION SHOWN WAS OBTAINED FROM PRIOR BOUNDARY PLANS, INCLUDED AS PART OF THIS SITE PLAN PACKAGE, AND IS NOT BASED ON AN ON-THE-GROUND SURVEY BY TFMORAN, INC.
- TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THIS PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN.
- EXISTING LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND ANY PLANTINGS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED. NO NEW LANDSCAPING IS PROPOSED.
- NO CHANGES TO EXISTING STORMWATER MANAGEMENT PRACTICES, SITE LIGHTING OR SITE LANDSCAPING ARE PROPOSED.

OWNER'S SIGNATURE  
  
 AMHERST CROSSING AMA REALTY VENTURES, LLC DATE

APPROVED BY THE AMHERST, NH PLANNING BOARD  
 ON \_\_\_\_\_ AND  
 CHAIRMAN: \_\_\_\_\_ AND  
 SECRETARY: \_\_\_\_\_

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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



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 AMHERST COMMUNITY DEVELOPMENT OFFICE

HORIZONTAL SCALE 1"=20'  
 20 10 0 20

REV	DATE	DESCRIPTION	DR	CK

**SITE DEVELOPMENT PLANS**

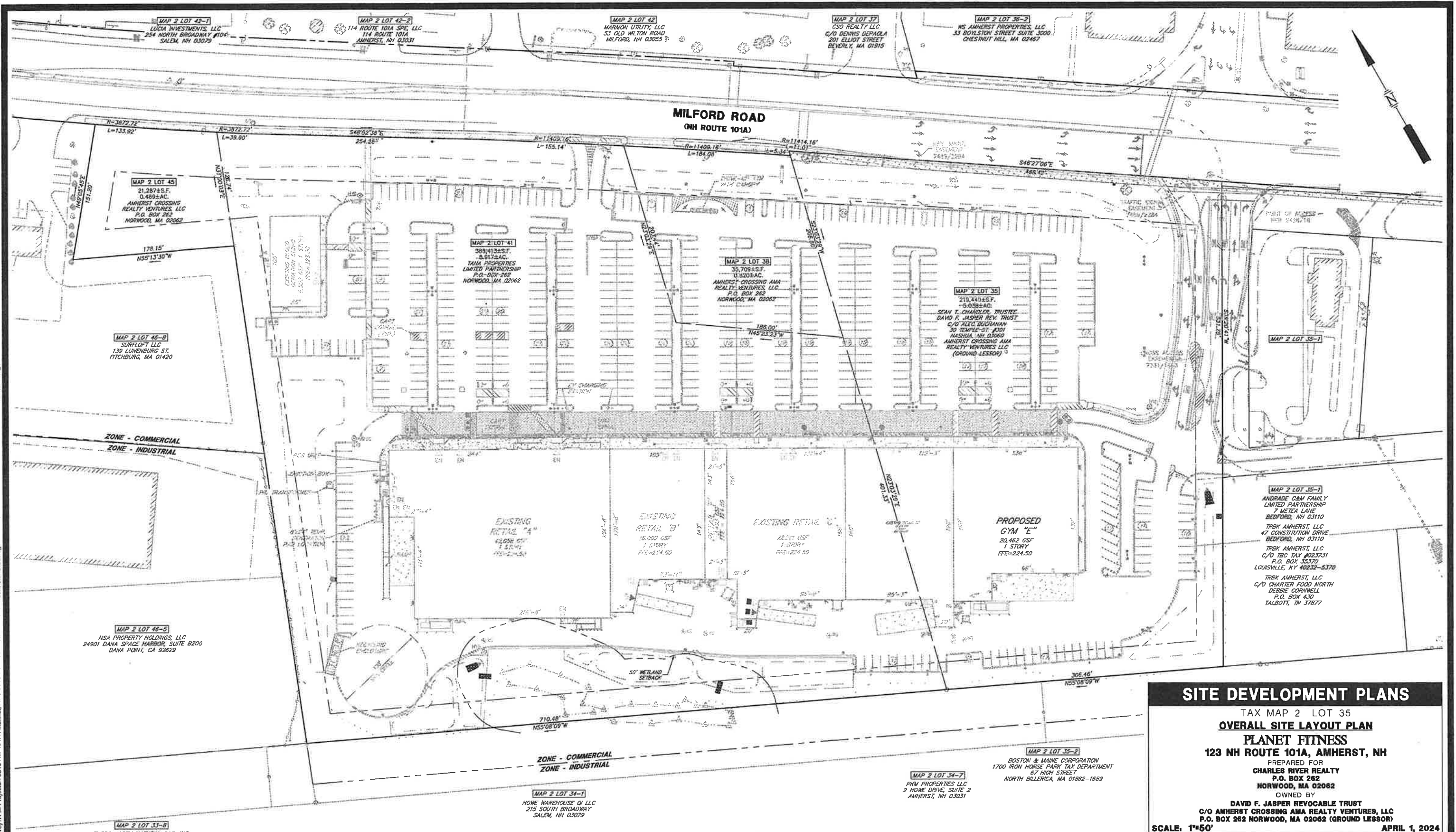
TAX MAP 2 LOT 35  
**SITE LAYOUT PLAN**  
**PLANET FITNESS**  
 123 NH ROUTE 101A, AMHERST, NH  
 PREPARED FOR  
**CHARLES RIVER REALTY**  
 P.O. BOX 282  
 NORWOOD, MA 02062  
 OWNED BY  
**DAVID F. JASPER REVOCABLE TRUST**  
 C/O AMHERST CROSSING AMA REALTY VENTURES, LLC  
 P.O. BOX 282 NORWOOD, MA 02062 (GROUND LESSOR)

SCALE: 1"=20' APRIL 1, 2024

<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
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76615.03 DR TCB FB  
 CK NG CAD/FDR/15-01 SITE PLAN-PLANET FITNESS 1 OF 2

Apr 01, 2024 - 2:32pm  
TFM:\BDF\CD\Projects\17FM Projects\76615-01 Charles River - Merrimack Ambient Crossing - Amherst, NH\AcadFiles\76615-01 Site Plan-Planet Fitness.dwg



### SITE DEVELOPMENT PLANS

TAX MAP 2 LOT 35  
**OVERALL SITE LAYOUT PLAN**  
**PLANET FITNESS**  
123 NH ROUTE 101A, AMHERST, NH  
PREPARED FOR  
**CHARLES RIVER REALTY**  
P.O. BOX 262  
NORWOOD, MA 02062  
OWNED BY  
**DAVID F. JASPER REVOCABLE TRUST**  
C/O AMHERST CROSSING AMA REALTY VENTURES, LLC  
P.O. BOX 262 NORWOOD, MA 02062 (GROUND LESSOR)  
SCALE: 1"=50' APRIL 1, 2024

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=50'  
50 25 0 50

REV	DATE	DESCRIPTION	DR	CK

76615.03  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

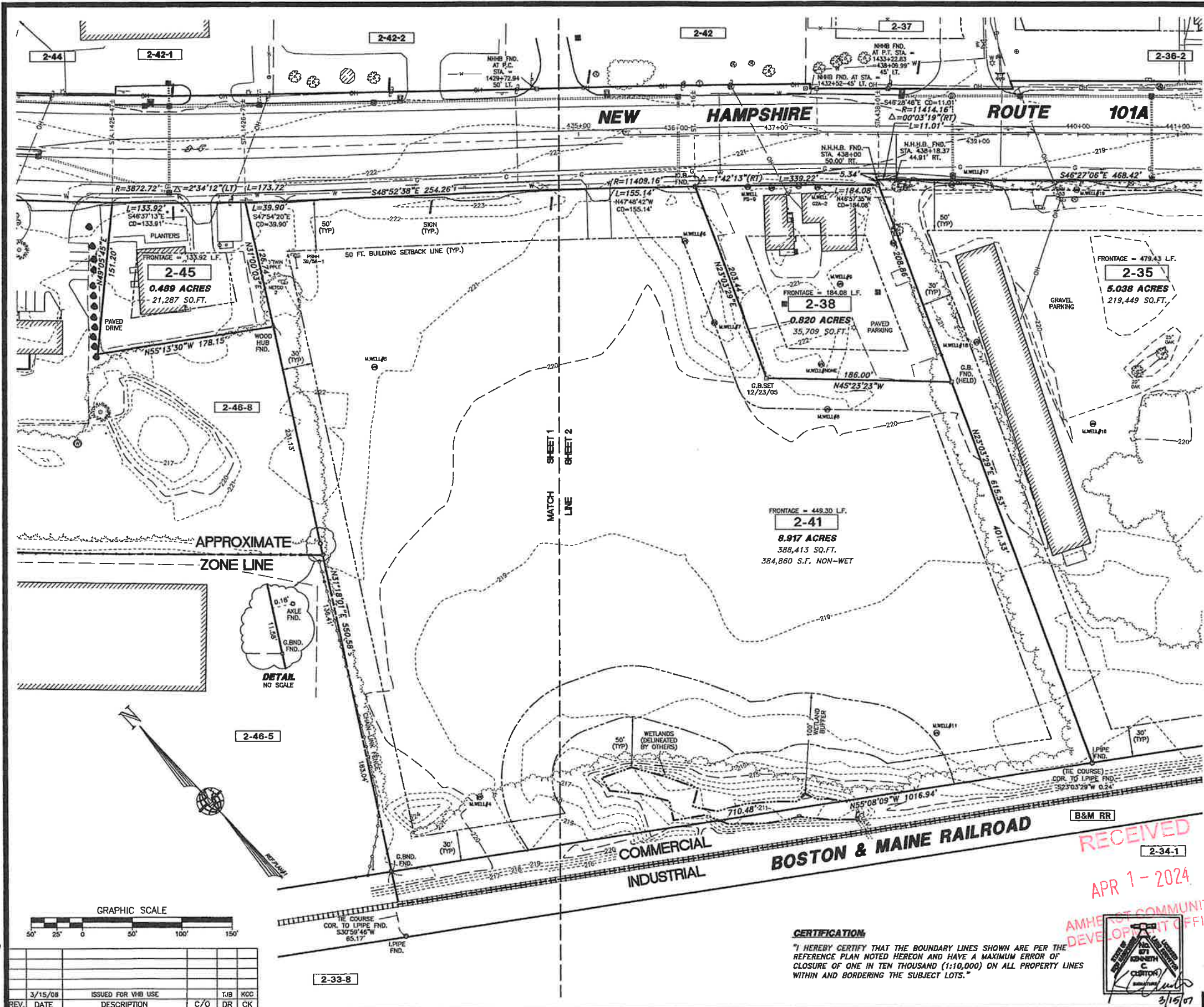
2 OF 2

**REFERENCE PLAN**

"ALTA/ACSM LAND TITLE SURVEY - BOUNDARY AND EASEMENT PLAN - PREPARED FOR: - BERKSHIRE-AMHERST, LLC - LAND OF: - DAVID F. JASPER, TAMSAB REALTY, LLC, TANA PROPERTIES LIMITED PARTNERSHIP, AND MCKINLAY FOSTER REALTY CO., INC. - TAX MAP LOTS 2-35, 2-37, 2-41 & 2-45 - AMHERST, NEW HAMPSHIRE" SCALE: 1"=50' DATED FEBRUARY 5, 2007, PREPARED BY MERIDIAN LAND SERVICES, INC. AND TO BE RECORDED.

**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS BOUNDARY AND TOPOGRAPHY OF TAX MAP 2 - LOTS 35, 38, 41 & 45.
2. THE OWNERS OF RECORD ARE:  
 LOT 2-35 - DAVID F. JASPER, OFFICE OF PUBLIC GUARDIAN, 2 PILLSBURY STREET, SUITE 400, CONCORD, NH 03301. SEE HCRD BK.2399 PG.665 (2), DATED: JANUARY 1, 1974.  
 LOT 2-38 - TAMSAB REALTY, LLC, C/O NAGA TAMRAGOURI, 3 JENNY HILL LANE, NASHUA, NH 03062. SEE HCRD BK.7354 PG.2313, DATED: OCTOBER 24, 2004.  
 LOT 2-41 - TANA PROPERTIES LIMITED PARTNERS, 40 TEMPLE STREET, NASHUA, NH 03063-3427. SEE HCRD BK.5620 PG.364, DATED: APRIL 13, 1995.  
 LOT 2-45 - MCKINLAY FOSTER REALTY CO., INC., 115 NH ROUTE 101A, AMHERST, NH 03031. SEE HCRD BK.5615 PG.1646, DATED: MARCH 24, 1995.
3. THIS PLAN IS PREPARED FOR BERKSHIRE-AMHERST, LLC, C/O BERKSHIRE DEVELOPMENT, LLC, 41 TAYLOR STREET, SPRINGFIELD, MA 01103.
4. THE LOTS ARE LOCATED WITHIN THE TOWN OF AMHERST, COMMERCIAL ZONING DISTRICT. MINIMUM ZONE REQUIREMENTS INCLUDE 1 ACRE OF AREA AND 200' OF FRONTAGE WITH BUILDING SETBACKS OF: 50' FRONT AND 30' SIDE & REAR. THE LOTS MAY BE FURTHER SUBJECT TO OVERLAY DISTRICT REQUIREMENTS.
5. THE LOTS ARE NOT SUBJECT TO THE 100 YEAR FLOOD ZONE 'A' PER FIRM COMMUNITY PANEL NO. 330081 0012 B, EFFECTIVE DATE: JULY 2, 1979.
6. BOUNDARY DATA FOR THE LOTS IS PER THE REFERENCE PLAN NOTED HEREON.
7. THE LOTS ARE SUBJECT TO AND HAVE BENEFIT OF THE EASEMENTS, COVENANTS AND RESTRICTIONS SHOWN GRAPHICALLY HEREON AND FURTHER DETAILED AND NOTED ON THE REFERENCE PLAN.
8. TOPOGRAPHY SHOWN IS THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2006. CONTOUR DATUM IS NGVD1929.
9. LOTS 2-35, 2-37, 2-41 AND 2-45 ARE WDA SOIL TYPE (WINSOR LOAMY SAND, 0-3% SLOPES) PER THE USDA SOIL SURVEY OF HILLSBOROUGH COUNTY EASTERN PART ISSUED OCTOBER 1981.



**BOUNDARY PLAN AND EXISTING CONDITIONS PLAN PREPARED FOR:**  
**BERKSHIRE-AMHERST, LLC**  
 LAND OF:  
**DAVID F. JASPER,**  
**TAMSAB REALTY, LLC,**  
**TANA PROPERTIES LIMITED PARTNERSHIP,**  
**AND MCKINLAY FOSTER REALTY CO., INC.**  
**TAX MAP LOTS 2-35, 2-37, 2-41 & 2-45**  
**AMHERST, NEW HAMPSHIRE**  
 SCALE: 1" = 50' FEBRUARY 28, 2007

**MERIDIAN**  
**Land Services, Inc.**  
 OFFICE: 31 OLD NASHUA ROAD, AMHERST, NEW HAMPSHIRE 03031  
 MAILING ADDRESS: PO BOX 118, MILFORD, NEW HAMPSHIRE 03055-0118  
 TEL 603-873-1441 FAX 603-673-1584 MERIDIAN@MERIDIANLANDSERVICES.COM  
**ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS**

**CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THE BOUNDARY LINES SHOWN ARE PER THE REFERENCE PLAN NOTED HEREON AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT LOTS."

RECEIVED  
 APR 1 - 2024  
 AMHERST COMMUNITY DEVELOPMENT OFFICE

GRAPHIC SCALE

0	25'	50'	75'	100'	150'
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REV.	DATE	DESCRIPTION	C/O	DR	CK
	3/15/08	ISSUED FOR VMB USE		TJB	KCC

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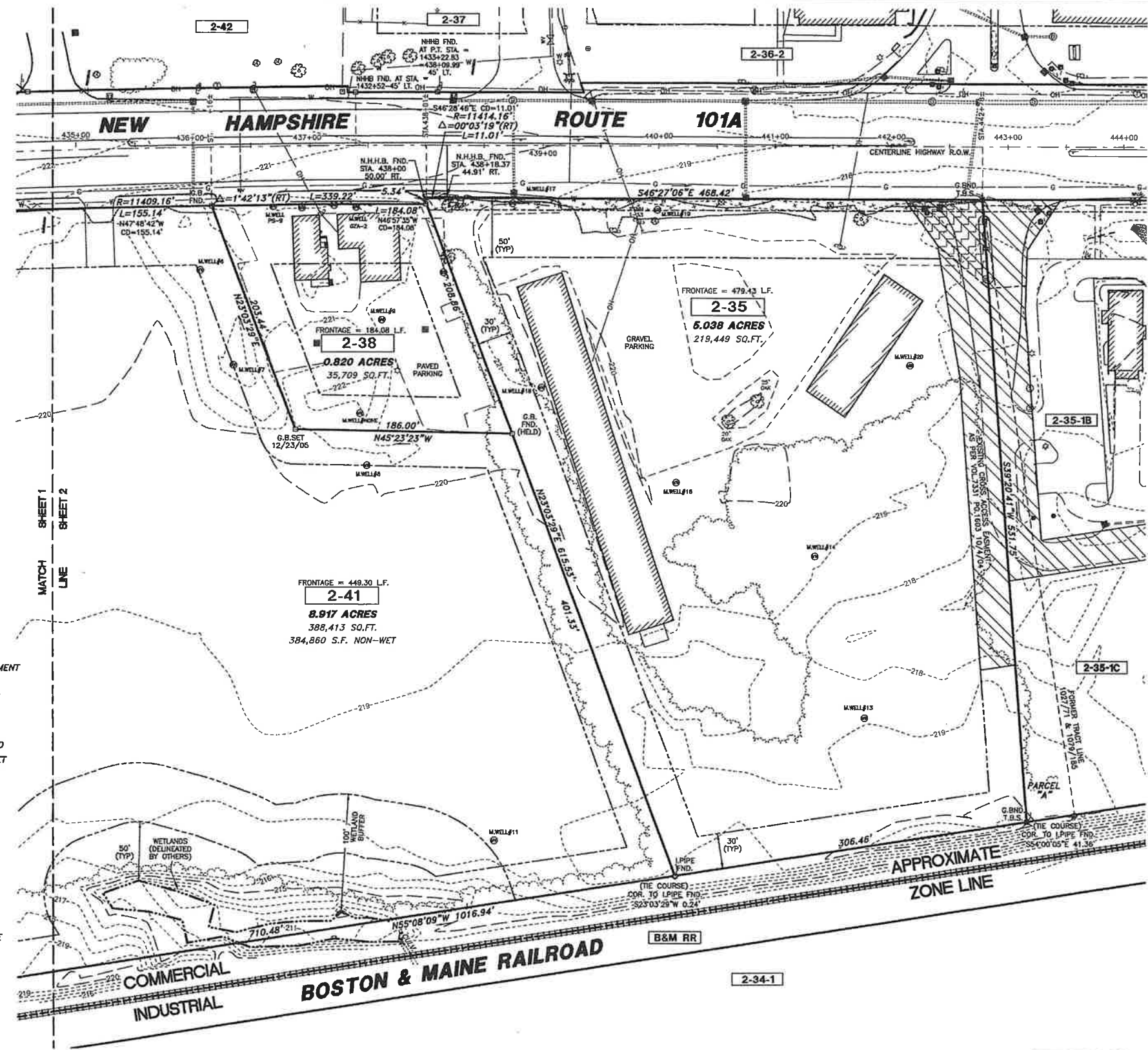


**LEGEND:**

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- - - ABUTTING LOT LINE
- - - FORMER TRACT LINE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - EDGE OF PAVEMENT
- - - EXISTING GRAVEL ROAD
- - - EDGE OF WETLANDS
- - - SLOPE EASEMENT LINE
- - - OH - OVERHEAD UTILITY
- - - G - APPROXIMATE GAS LINE
- - - W - APPROXIMATE WATER
- - - 10' CONTOUR INTERVAL
- - - 2' CONTOUR INTERVAL
- 2-28 TAX MAP/LOT NUMBER
- ▨ EXISTING BUILDING
- ▨ EXISTING TREE LINE
- ▨ HIGHWAY MAINTENANCE EASEMENT
- ▨ HIGHWAY MAINTENANCE & TRAFFIC SIGNAL EASEMENT
- ▨ CROSS ACCESS EASEMENT
- EXIST. GRANITE BOUND FOUND
- ⊙ EXIST. DRILL HOLE FOUND/SET
- ⊙ EXIST. IRON PIPE FOUND
- ⊙ GRANITE BOUND TO BE SET
- ⊙ IRON PIN TO BE SET
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ MONITORING WELL
- ⊙ SEWER MANHOLE
- ⊙ CATCH BASIN
- ⊙ DRAIN MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MAILBOX
- ⊙ UTILITY POLE WITH GUY WIRE
- ⊙ LIGHT POST
- ⊙ UTILITY PULL BOX
- ⊙ SIGN



REV.	DATE	DESCRIPTION	C/O	DR	KCC	CK
3/15/06		ISSUED FOR VHB USE		TJB		KCC



**ABUTTERS:**

- 2-35 DAVID F. JASPER  
OFFICE OF PUBLIC GUARDIAN  
10 WHITE STREET  
CONCORD, NH 03301  
VOL.4014 PG.11 3/17/1987
- 2-36-2 TAMSAB REALTY, LLC  
3 JENNY HILL LANE  
NASHUA, NH 03064  
VOL.7354 PG.2312 11/19/04
- 2-41 TANA PROPERTIES  
LIMITED PARTNERSHIP  
40 TEMPLE STREET  
NASHUA, NH 03063-3427  
VOL.5620 PG.364 4/13/1995
- 2-42 OPERATED CORP.  
116 N.H. ROUTE 101A  
AMHERST, NH 03031  
VOL.6255 PG.1746 5/11/2000
- 2-42-1 WILLIAM & NANCY DAY  
P.O. BOX 6374  
NASHUA, NH 03063  
VOL.2638 PG.447 4/28/81
- 2-42-2 JOSEPH & DIANE CRAWFORD  
96 CHRISTIAN HILL ROAD  
AMHERST, NH 03031  
VOL.3138 PG.517 3/26/1984
- 2-44 STEEPLCHASE ASSOCIATES, LLC  
107 RIDGEMOUNT ROAD  
HOLLIS, NH 03048  
VOL.7081 PG.2240 10/1/03
- 2-45 MCKINLAY FOSTER  
REALTY CO., INC.  
113 ROUTE 101A  
AMHERST, NH 03031  
VOL.5615 PG.1646 3/24/95
- 2-35-1B & 1C TRISK-AMHERST, LLC  
1 CLUB ACRES LANE  
BEDFORD, NH 03110  
VOL.6712 PG.2160 8/18/2002
- 2-46-5 SAFEGUARD SELF STORAGE, LLC  
6 CALDWELL DRIVE  
AMHERST, NH 03031  
VOL.6113 PG.691 6/2/99
- B & M RAILROAD  
C/O GUILFORD TRANSPORTATION  
HIGH STREET  
MILLERICA, MA  
VOL.1063 PG.242 7/17/44
- 2-37 CSO REALTY, LLC  
120 N.H. ROUTE 101A  
AMHERST, NH 03031  
VOL.5978 PG.467 7/30/1998
- 2-46-B PHILLIP M. RIVERS &  
RICHARD F. HALLAR  
139 LUNDENBURG STREET  
FITZBURGH, MA 02420  
VOL.6632 PG.2058 5/13/00

**BOUNDARY PLAN AND  
EXISTING CONDITIONS PLAN  
PREPARED FOR:**  
**BERKSHIRE-AMHERST, LLC**  
 LAND OF:  
**DAVID F. JASPER,  
TAMSAB REALTY, LLC,  
TANA PROPERTIES LIMITED PARTNERSHIP,  
AND MCKINLAY FOSTER REALTY CO., INC.**  
**TAX MAP LOTS 2-35, 2-37, 2-41 & 2-45  
AMHERST, NEW HAMPSHIRE**  
 SCALE: 1" = 50'      FEBRUARY 28, 2007

**CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THE BOUNDARY LINES SHOWN ARE PER THE REFERENCE PLAN NOTED HEREON AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT LOTS."



**MERIDIAN**  
**Land Services, Inc.**  
 OFFICE: 31 OLD NASHUA ROAD, AMHERST, NEW HAMPSHIRE 03031  
 MAILING ADDRESS: PO BOX 118, MILFORD, NEW HAMPSHIRE 03055-0118  
 TEL 603-673-1441 FAX 603-673-1584 MERIDIAN@MERIDIANLANDSERVICES.COM  
**ENGINEERS - LAND SURVEYORS - SCIENTISTS - LAND PLANNERS**  
 FILE:183B13.dwg      PROJECT NO. 183.13      SHEET NO. 2 OF 2

Mar 15, 2007 - 2:06pm  
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LOCATION:  
**AMHERST**  
 123 NH ROUTE 101A  
 Amherst, NH 03031



461 FROM ROAD, RAMAPUS, NJ 07622  
 1973.233.9993 • WWW.SARGENTI.COM

ARCHITECTURAL SEAL:  
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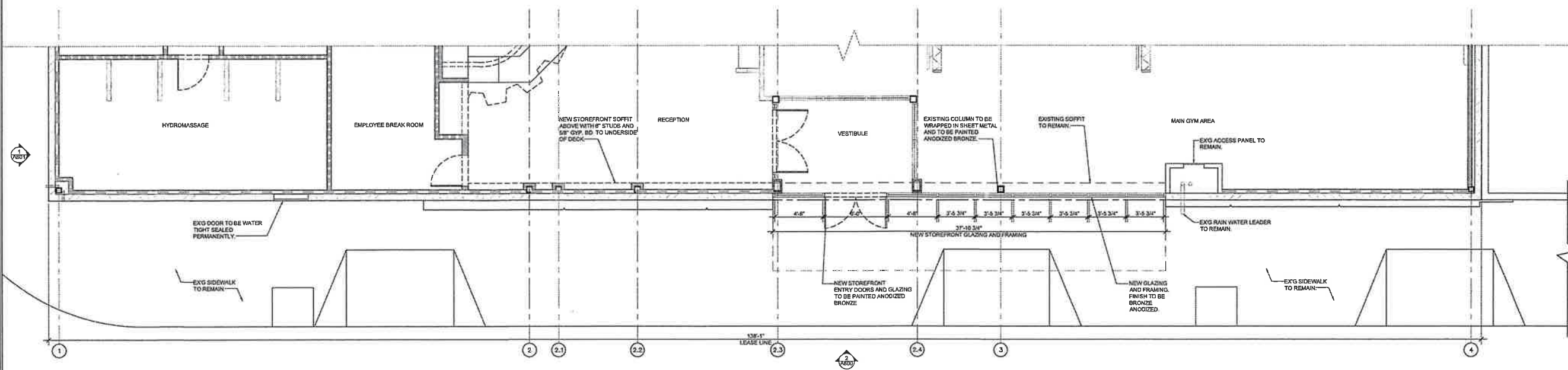
ARCHITECT OF RECORD

PROFESSIONAL SEAL:

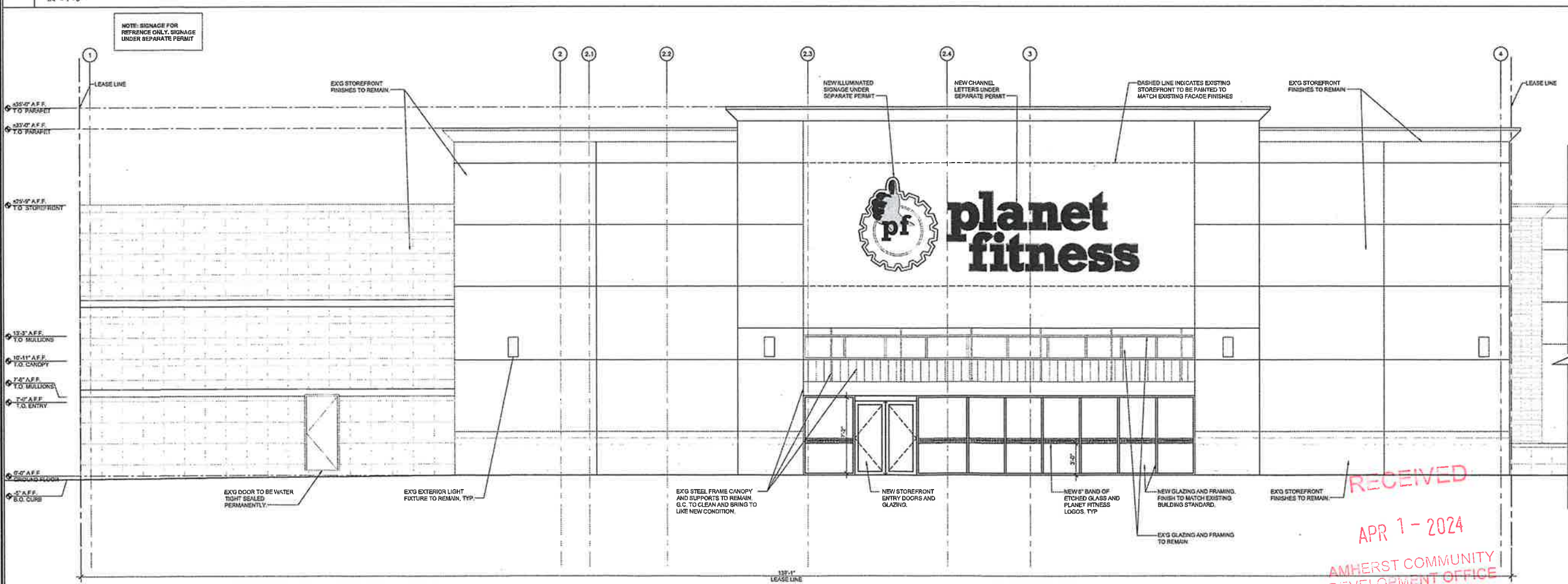
PROJECT NO : 9763-23

LOCATION: AMHERST, NH

PROJECT: PLANET FITNESS



1 ENLARGED STOREFRONT PLAN  
 1/4" = 1' - 0"



2 EXTERIOR ELEVATION  
 1/4" = 1' - 0"

REVISIONS

DATE	ISSUE
12/20/23	CLIENT REVIEW

DATE	REVISION

PROJECT INFORMATION:	
PROJECT NUMBER:	6713-01
DRAWN BY:	BM
REVIEWED BY:	ADAC
TOTAL SQ. FT.:	28341
DATE:	12/20/23

DRAWING TITLE:

STOREFRONT PLAN  
 AND EXTERIOR  
 ELEVATIONS

DRAWING NUMBER:

**A-800**

RECEIVED  
 APR 1 - 2024  
 AMHERST COMMUNITY  
 DEVELOPMENT OFFICE